

CONDITIONAL USE APPLICATION **VILLAGE OF ROCHESTER, WISCONSIN**

Note: Application must be fully completed and signed by the applicant or the applicant's agent.

OWNER: Payne & Dolan, Inc. **APPLICANT/ AGENT:** Payne & Dolan, Inc.

Zoning District: M-4 Quarrying District

TO THE VILLAGE OF ROCHESTER PLAN COMMISSION:

The undersigned requests a conditional use permit to (specify use, project, structure, size, etc.):
 Renewal of an existing CUP for sand & gravel extraction and related accessory uses for the Honey Creek Aggregate Site. We are requesting a change to the hours of operation to include an additional 30 minute start-up and shut down period for the asphalt plant, clarification that the asphalt plant can be operated on Saturday, and the ability to pick-up and return equipment to the site outside of the permitted hours of operation.

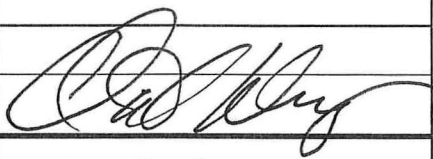
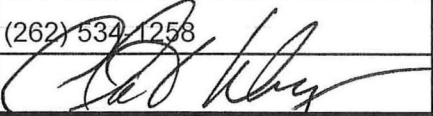
AT (site address): 34605 Washington Avenue, Burlington, WI 53105

Subdivision: **Lots(s):** **Block:**

Parcel ID#: 176031906010000, 17603190611000 and 176031906018000

If served by municipal sewer, check here: **Sanitary permit #**

- ✓ Attached are:
- Zoning permit application fully completed & signed by the applicant or the applicant's agent.
 - 12 SETS: drawn-to-scale site plan that is based on a survey (2 full sets at scale, 10 no larger than 11' x 17', folded to 8.5" x 11")
 - Letter of agent status- If the applicant does not own the property at the time of filing and/or public hearing, a written, signed and dated letter from the property owner acknowledging said petition and authorizing specified agent to speak on the owner's behalf must be submitted.
 - Hearing/ review fee payable to "Racine County" (Fees are non-refundable, and re-publication/ amendment fees will be charged where applicable).
 - Signed "Agreement for Reimbursable Services"
 - 3 SETS: landscaping/ lighting plan
 - 12 SETS: report/ cover letter & operations plan
 - Names & mailing addresses of the property owner's within 100' of the subject property and across the street.
 - Other _____

Property Owner Name:	Payne & Dolan, Inc.	E-mail address:	
Address:	N3 W23650 Badinger Road	Telephone #:	
	Waukesha, WI 53187	Signature:	
Agent Name:	Clint Weninger (Payne & Dolan, Inc.)	E-mail address:	cweninger@walbecgroup.com
Address:	N3 W23650 Badinger Road	Telephone #:	(262) 534-1258
	Waukesha, WI 53187	Signature:	

Staff Use Only:

- BASED ON CURRENT MAPPING, check applicable statement(s) below and underline or circle the word "all" or "partially"
- The property is all / partially located in the _____ shoreland area.
 - The project is all / partially located in the _____ shoreland area.
 - The property is all / partially located in the _____ floodplain.
 - The project is all / partially located in the _____ floodplain.
 - The property is all / partially located in the wetland.
 - The project is all / partially located in the wetland.

The applicant is subject to the following Ordinance provisions (specify article/ section):

Shoreland contract : Yes No

Public Hearing Date:		Site plan review meeting date:	
Submittal Received by:		Date petition filed:	
Cash or Check #:		Amount received:	

Village of Rochester
Agreement for Reimbursable Services
By Petitioner/Applicant/Property Owner


The Village may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and other experts) to assist in its review of a proposal coming before the Plan Commission. The Village reserves the right to apply the charges for these services as well as for staff time expended in the administration, investigation and processing of applications to the Petitioner.

The Petitioner is required to provide the Village with an executed copy of this agreement as a prerequisite to the processing of the development application. The submittal of a development proposal application or petition shall be construed as an agreement to pay for such professional review services applicable to the proposal. The Village may delay acceptance of the application or petition as complete, or may delay final approval of the proposal, until the Petitioner pays such fees. Review fees which are applied to a Petitioner, but which are not paid, may be assigned by the Village as a special assessment to the subject property.

Payne & Dolan, Inc., the applicant/petitioner/ property owner(s) for
(Names)
Honey Creek CUP Renewal, dated April 11, 2022,
(Nature of application/petition)

agrees to reimburse the Village of Rochester for all consultant services (e.g. engineering, planning, surveying, legal) required to process this application in addition to those normal costs payable by an applicant/petitioner (e.g. filing or permit fees, publication expenses, recording fees, impact fees, etc.), and, further, agrees to reimburse the Village for other administrative staff review if, in the judgment of the Village Board, such reimbursement is warranted.

Dated this 11 day of April, 2022.


(Signature of Applicant/Petitioner)

(Signature of Property Owner, if Different from Applicant/Petitioner)

APPLICATION FOR ZONING PERMIT VILLAGE OF ROCHESTER, WISCONSIN				PERMIT NO.		DATE PERMIT ISSUED	
OWNER: Payne & Dolan, Inc.				APPLICANT: Same as Owner			
Mailing Address N3 W23650 Badinger Road				Mailing Address (If Corporation, registered name)			
Waukesha		WI		53188			
City		State		Zip			
Phone (H)		(W) (262) 524-1258		(H)			
Parcel Id#		176031906010000, 17603190611000 and 176031906018000					
Lot		Block		Subdivision Name		CSM #	
Proposed Construction/ Use		Renewal of an existing CUP for sand & gravel extraction and related accessory uses for the Honey Creek Aggregate Site. We are requesting an additional 30 minute start-up and shut down period for the asphalt plant, clarification that the asphalt plant can be operated on Saturday, and the ability to pick-up and return equipment to the site outside of the permitted hours of operation.					
New		Principal Bldg.		Size		() x () x ()	
Addition		Accessory		Area (sq ft)		() () ()	
Alteration		Deck		# of Units/ Stories		/ Building Ht. (Avg ft.)	
Conversion		Sign		Peak Ht. (ft)		100yr Floodplain (elevation)	
Temporary		Other		Eave Ht. (ft)		Flood Protection Elevation	
Contractor:		Est. Value w/ Labor \$				ZONING DIST.	
Existing Nonconforming?		N/A <input type="checkbox"/> *Yes <input type="checkbox"/> No <input type="checkbox"/>		Yard Setbacks		Proposed	
*Structure's Fair Mkt Value		\$ _____		Cumulative %		OK?	
*>50% of Fair Market Value		N/A Yes No		Street- 1st			
Structure in Shoreland (per map)		Yes No		Street - 2nd			
Structure in Floodplain? (per map)		Yes No		Side - 1st			
Structure in Wetland (per map)		Yes No		Side - 2nd			
Substandard Lot?		Yes No		Rear			
Abutting Lot- Same Owner/ Closely Related		Yes No		Shore			
BOA Variance Needed?		Yes No →		Acc. Structures %			
Conditional Use/ Site Plan Needed?		Yes No →		--Date of Approval			
Shoreland Contract Needed?		Yes No →		--Date of Approval			
Additional Zoning Permit Stipulations Listed on Back of this Form?		Yes No →		(If Yes, see back)			

The applicant hereby certifies that the information submitted on this application (both sides) and attached hereto, is true and correct to the best of the knowledge and belief of the signer, and that all construction/use will be done in accordance with applicable stipulations, Wisconsin laws and Village of Rochester ordinances.

BOA/ Conditional Use/ Site

Plan Cash/ Check # _____ **Pd: \$** _____

Shoreland Contract Fee _____ **Pd: \$** _____

Other: _____ **Pd: \$** _____

Zoning Permit Fee _____ **Pd: \$** _____

Cash/ Check # _____ **Pd: \$** _____

Make checks payable to: "Racine County"

Note*: All fees are nonrefundable

[Signature] 4/11/22

Signature of Applicant Date

Signature of Secretary of Corporation/ Partner Date

Print Name

Zoning Administrator Date

ZONING PERMIT REQUIREMENTS

If public municipal sewer serves the property, check here _____. Do not complete # 1 – 6 below.

If a private sewage system serves the property, check here _____ and complete # 1 – 6 below:

- 1) Sanitary Permit # _____ Date issued _____ Year installed _____ Failing? _____
- 2) If zoning permit is for an accessory structure without plumbing, check here _____ and go to #4.
- 3a) If a commercial facility, public building, or place of employment, will there be a change in occupancy of the structure; or will the proposed modification affect either the type or number of plumbing appliances, fixtures or devices discharging to the system? Yes* _____ No _____ N/A _____
- 3b) If a dwelling, will addition/alteration change the number of bedrooms? Yes* _____ No _____ N/A _____ *If "Yes" above, documentation must be submitted to verify that the system can accommodate a modification in wastewater flow or contaminant load pursuant to SPS 83.25 (2) (d).
- 4) Will construction interfere with setback requirements to private sewage system per SPS 83.43 (8) (i)? Yes _____ No _____ If "Yes," provide variance approval date: _____
- 5) Has a new sanitary permit been issued to accommodate the structure or proposed modification in wastewater flow or contaminant load and/or County sanitary approval granted? Yes _____ No _____
- 6) Comments _____

POWTS Inspector's Signature: _____ Date: _____

POWTS License #: _____

A Plat of Survey shall be prepared by a Land Surveyor registered in Wisconsin for all new principal structures located on lots less than five (5) acres in size. All zoning permit applications shall be accompanied by plans drawn to scale, showing the location, actual shape and dimensions of the lot to be built upon and any primary and accessory buildings, the lines within which the building shall be erected, altered or moved, the existing and/or intended use of each building or part of a building and the number of families and/or employees the building is intended to accommodate. Plans should also include floodplain, wetlands, environmental corridors, easements and such other information with regard to the lot and neighboring lots or buildings as may be necessary to determine and provide for ordinance enforcement.

All dimensions shown relating to the location and size of the lot shall be based upon an actual survey. Lot area shall not contain road right-of-way. The lot and location of the building thereon shall be staked out on the ground before construction is started. NOTE: All street yard, side yard, and rear yard setbacks shall be measured from the closest property lines. Shore yard setbacks shall be measured from the closest point of the ordinary highwater mark of a navigable body of water. All elevations shall be provided in mean sea level datum.

All **zoning permits** issued pursuant to this ordinance are **valid for Twenty Four (24) months**, unless substantial construction has commenced and is continuing, otherwise such zoning permits shall become null and void and a new zoning permit is required.

Applicant
Initials

ADDITIONAL ZONING PERMIT STIPULATIONS (check all that apply)

- Proposed structure is for personal use only. No business, commercial or industrial use is allowed.
- All disturbed soils must be reseeded and mulched, or sodded immediately upon completion of project.
- Must install the following within 14 days of completion of roof: gutters and downspouts which outlet onto splashblocks or into drain tiles; or a hard surface material that extends at least 16" beyond the dripline of the structure.
- All excess soil not used for backfilling project must be removed from the shoreland area within 10 days of excavation.
- A hard surface material must be placed beneath the deck to prevent soil erosion.
- All existing yard grade elevations will remain unchanged.
- Adequate off-street parking must be provided in accordance with Chapter 15- Sec. 6.08, Village of Rochester Municipal Code.
- Driveway access shall be 12 feet wide for 1 & 2-family dwellings and a minimum of 24 feet wide for all other uses.
- It is the responsibility of the property owner to comply with any restrictive covenants associated with this property and obtain all necessary federal, state, and local permits, approvals, and licenses and comply with all applicable codes and regulations.
- Proposed construction will not be located within a utility of drainage easement.
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Section 3.(2).(a).2) Ordinance No. 2009-5 of the Village of Rochester’s Code of Ordinances list the following requirements for a conditional use application in the M-4 zoning district:

a) Name and address of the applicant.

Payne & Dolan, Inc.
N3 W23650 Badinger Road
Waukesha, WI 53187
Phone: (262) 524-1700
Fax: (262) 524-1845

b) Name and address of the owner of the site on which use is taking place.

Same as above.

c) Description of the site for use by lot, block and recorded subdivision or by metes and bounds.

The following property descriptions were taken from the Racine County GIS.

E1/2 NE1/4 EXC COM SE COR NE 1/4 N48 SW TO PT 45W OF POB E45 TO POB & EXC S35 OF W660 ****TOTAL ACRES**** 85.00

W1/2 NE1/4 EXC PT LY S OF CTH D ****TOTAL ACRES**** 76.00

E1/2 NW1/4 LY E OF RR & COM 1173 E & 1024 NE OF W1/4 COR NE151 E373 S150 W394 TO POB EXC V1015P17 EXC V2032P322 PT FROM 014031906016000 IN 90 FOR 91 ROLL ****TOTAL ACRES**** 69.00

all in Section 6, Town 3 North, Range 19 East, Village of Rochester, Racine County, Wisconsin.

d) Address of the site.

34604 Washington Avenue (CTH D)
Waterford, WI 53185

e) Statement of the nature of the proposed operation, and appropriate exhibits, including:

The nature of the existing operation is the extraction and processing of sand & gravel including earthmoving, crushing, washing, sorting, sizing, stockpiling, transporting and reclamation. Operations also include a portable hot-mix asphalt plant, which is on site intermittently; the mixing of asphalt; the recycling of materials to be used in hot-mix asphalt; and the trucking and loadout of hot-mix asphalt and aggregate products.

The extraction operation will be conducted in general accordance with the operations plan dated November 5, 1997 and the will be restored in conformance with the reclamation plan dated November 5, 1997.

1.) List of equipment and machinery to be used to conduct operations.

Equipment to be used in the extraction, crushing and washing operation includes, but is not limited to: dozers, scrapers, backhoes, various types of crushers, screen plants, wash plants, conveyors, stackers, surge bins, front end loaders, generator sets, scale, scale office building, etc. in addition to various rolling stock equipment currently being operated at the site such as end loaders and trucks.

Equipment to be used in the operation of the asphalt plant includes, but is not limited to: various components of the asphalt plant itself such as the baghouse, control house, silos, feed bins, drum, storage tanks, scale, etc. in addition to various rolling stock equipment currently being operated at the site such as end loaders and trucks.

2.) Type and amount of explosives to be stored, if any.

No explosives will be used or stored on site.

3.) Size, location, and use of the buildings to be constructed on the site.

A scale office building has been constructed on the site. See attached aerial photo for location.

4.) Smoke and dust control devices to be utilized, if any.

Mineral extraction, processing and asphalt plant operations shall be conducted in accordance with the Federal Environmental Protection Agency and the State of Wisconsin Department of Natural Resources air pollution control regulations.

Air pollution control measures may be required from time to time on an as needed basis. Such measures may include sweeping of access roads, paving portions of access roads, water or chemical control of processing and material handling operations, control of dust from storage piles and the utilization of a baghouse on the asphalt plant.

The operations at the site will meet EPA and DNR requirements concerning air quality. Airborne particulate matter will not exceed Wisconsin DNR Administrative Code Regulations.

5.) Highways to be used for the truck traffic to and from the subject site.

The transportation of products from the site will utilize the existing transportation routes that exist with the current operation. The site has entrances unto STH 20 to the north in the Town of Waterford and CTH D (Washington Ave.) to the south in the Village of Rochester.

6.) Deodorants or odor control devices.

Potential odors emitted from the site can and will be controlled utilizing the latest odor control additives or technologies. The most effective odor additive to date that Payne & Dolan has used is Ecosorb which is produced by Odor Management, Inc. Ecosorb is a non-toxic, non-hazardous, biodegradable odor additive. These odor additive suppressant products actually act as an oxygen scavenger that significantly retard the release of compounds that are responsible for the characteristic asphalt smell.

7.) Proposed devices for muffling noise.

The noise created by the proposed operation of the site will be of a similar nature to the existing/past operations. A majority of the operations occur in the existing extraction area 20 ft. below grade in the center of the site. This location takes advantage of the natural topography and existing vegetation which help mitigate potential noise from leaving the site. In addition, equipment is properly muffled and maintained.

8.) The employment of safety devices to protect the public from dangers inherent to the proposed use.

Security fence, locking gates, signing, berms, landscaping and plantings are all devices that are used limit public access to the operations area on the site thus protecting the public from potential dangers inherent to the proposed use. Site specific hazard awareness training that details potential hazards of the operation is given to all employees, contractors and visitors that come unto the site.

9.) Method of concealing unsightly deposits, if any.

The site is screened from view of surrounding properties by earthen berms and previous installed landscaping and plantings.

10.) Employee and machinery/equipment parking areas.

See attached plan.

11.) Any other pertinent data which the applicant deems material, or as requested by the Village.

Provided as needed.

f) Zoning of the site to be used. Existing land use and zoning abutting subject property.

The property is currently zoned M-4. The existing land use is mineral extraction and associated operations including a crushing plant, washing plant and asphalt plant.

The surrounding land use is primarily M-2, A-2 and R-2.

g) Depth of existing and proposed excavations.

There is approximately 3-10 ft. of topsoil and other overburden materials overlying the sand & gravel. The depth of the current excavation varies from 10-30 feet above the water and up to 25-30 feet below the water. Depths of the excavation may change depending on the area of the property being worked.

h) Commencement and completion dates of each type of operation proposed.

The site is already an existing operation. Extraction on the site will follow the phasing outlined in the submitted operations and reclamation plan.

i) Hours and days of operation.

The asphalt plant and associated operations may not be operated other than between the hours of 6 a.m. and 7 p.m. Monday through Saturday, and it must be operated in a manner that meets or exceeds all local, state, and federal environmental requirements. The owner is allowed to perform start-up activities for the asphalt plant from 5:00 a.m. to 6:00 a.m. and shut down activities from 7:00 p.m. to 8:00 p.m. The owner is allowed twenty-four (24) hour operations when necessitated by specific projects and shall notify the Village of Rochester at least three (3) days in advance of the operation.

Hours of operation for grading, crushing, washing, material load out, internal trucking and external trucking:

Monday – Friday	6:00 a.m. – 7:00 p.m.
Saturday	7:00 a.m. – 2:00 p.m.
Limited to 20 Saturdays per year	
No mining or trucking operation on Sunday or Holidays.	
Picking up and returning of equipment may occur outside of the hours listed above.	

Activities such as equipment maintenance and minimum site maintenance, such as snowplowing and lawn mowing, may take place outside of the times listed above.

j) Number of employees.

The number of employees can vary from 1-15 depending upon the scope and nature of the work being performed and also the time of year operations are occurring. The employees are mainly seasonal with more on site during the typical construction season than in the winter months.

k) Method and manner of draining surface water and accumulated water from the licensed premises.

Payne & Dolan has secured and shall maintain a NR-216 stormwater permit and notice of intent from the Wisconsin Department of Natural Resources for the operations on site. Stormwater from within the site is internally drained. With very severe and wet weather

conditions, there is an occasional need to pump water into adjoining drainage ditches and waterway. Any discharge of water off-site is completed per local and state requirements. Any water discharge is tested on a regular basis to ensure compliance with Wisconsin DNR standards.

l) Method and manner of restoring the areas of the operation after the cessation of operation to a condition of practical usefulness and reasonable physical attractiveness.

Reclamation is an on-going process during the nonmetallic mineral extraction process, with a majority of the reclamation being completed during active mineral extraction. The topsoil and other overburden materials covering the nonmetallic mineral deposit are removed and stockpiled separately for future reclamation. After the nonmetallic minerals are removed, the topsoil and other overburden materials will be placed over the area where the minerals were excavated, graded to conform with the surrounding land and seeded. The existing topsoil and overburden are re-distributed across the parcel and fine graded to present a uniform appearance. Reclaimed slopes will be seeded upon completion of the fine grading. Payne & Dolan will perform the necessary grading to achieve the final topography and drainage patterns as outlined in the approved reclamation plan.

m) Topographic mapping of the site showing existing and proposed contours, with a contour interval no greater than two (2) feet. (12 copies)

Operations plan shows the existing contours available when the plan was approved in 1997. Plan shows existing and proposed contours but at an interval greater than 2 ft. More detailed contours can be provided within 60 days notification.

Contours shall be constructed in general accordance with the plans and drawings submitted at the time of application and hearing and shall be merged with existing and proposed contours abutting properties, the pit bottom shall have a minimum slope of 0.5% to provide drainage.

n) Existing trees four inches or more in diameter, measured four feet from the existing elevation, and proposed tree plantings; provided, however that, for heavily wooded areas, the perimeter of the heavily wooded area may be delineated and the types of trees and range of diameters may be provided.

Existing trees and vegetation can be seen on the aerial photograph submitted. No additional tree plantings are proposed.

o) Landscaping berms, fencing and gates.

The existing entrance unto Washington Ave (CTH D) is currently bermed. There is a gate at the entrance to limit accessibility to the site. A significant number of trees have been planted around the perimeter of the site. A majority of the site is fenced.

p) Sign locations and sizes.

A sign is located at the entrance unto the site from CTH D. Various safety signs are located throughout the property as needed and include such signs as No Trespassing (on perimeter fence).

q) Existing and proposed access roads.

Vehicles entering and leaving the site will utilize the existing paved entrance and access road from CTH D. This access road extends north to STH 20 through a portion of the site that is in the Town of Waterford.

There is no need at this time for any additional access roads into the site.

r) Water supply facilities, including source quantity and disposition of the water to be used.

Water for the scale house comes from a private well. Water used in the processing operations comes from the on-site ponds. The washing process recycles the water used. The wash water returns "clean" water to the ponds after the fine sediments have had time to settle out of the water.

s) Proposed sanitary facilities.

The scale building utilizes a conventional septic system. Other site operations utilize portable sanitary facilities such as Port-a-Johns.

t) Test results of area water wells, and proposed testing plans, where the proposed use includes excavation below the water table, along with sureties to ensure performance of continued testing and resolution of issues identified, in a form determined by the Village Plan Commission upon the Village Plan Commission finding that such condition or conditions are proper for protection of health, safety and or welfare of the public.

Before underwater excavation was initiated, Payne & Dolan performed a hydrologic study as required by Racine County to determine the baseline water quality and quantity on the site. A copy of the study was given to Racine County, the Town of Waterford and the Village of Rochester for their review and approval. Before work on the lake was initiated, Payne & Dolan offered property owners within 2,500 feet of the subject parcel boundary an opportunity to have Payne & Dolan perform a baseline well test to establish water quality and quantity in said well(s). The offer was made in the form of written notices (certified

mail; return receipt requested) to each property owner. Payne & Dolan submitted to Racine County and the respective Towns a list of to whom the notices were sent and a second list which enumerates those property owners who have requested the baseline well test. If there is a problem with any such tested well after work below the water table has begun, a disinterested third party will be brought in at Payne & Dolan's expense to investigate the situation. If it is determined that Payne & Dolan is responsible for the well problem, the well will be repaired, dug deeper, or a new well dug, whichever the disinterested third party recommends as the appropriate remedy, at Payne & Dolan's

expense. Payne & Dolan will be responsible for supplying potable water to the affected party until the well problem is resolved.

- u) Highway access restrictions, deed restrictions, and traffic control, along with repair plans for Village roads affected by the operation. Where determined necessary by the Village Plan Commission, the applicant shall submit a financial surety for the projected road repair.*

The transportation of products produced at the site will utilize the existing transportation routes that currently exist with the present operation. The highway access to CTH D and necessary traffic control are already in place. A repair plan for CTH D is not necessary as county roads are built to handle the traffic and types of trucks associated with a nonmetallic mineral extraction operation. Use of all other Village Roads shall be prohibited, except for a local delivery.

- v) Letter of Agreement from the applicant agreeing to restore the subject site in accordance with the approved reclamation plan (see subsection (5.07.c(1))).*

See Letter of Agreement on file – also see Certification of Reclamation on Sheet S of the Reclamation and Operations Plan for the site.

- w) The Village Plan Commission may also as a condition precedent to the issuance of the zoning permit and conditional use permit, require an agreement with the applicant and owner whereby they agree to restore the site to a condition of practical usefulness and reasonable physical attractiveness.*

The reclamation plan has been previously approved by Racine County and the then Town of Rochester. A copy of the reclamation plan is attached.

Payne & Dolan currently has a reclamation permit (#NM01-014-002) issued by Racine County for the site. A reclamation bond in the amount of \$369,000 is currently posted with Racine County.

Payne & Dolan: Honey Creek CUP Renewal
Name & Mailing Address of Landowners within 100 ft. of the CUP Boundary

Site Address	Landowner	Mailing Address
Honey Creek Rd	Payne & Dolan	Box 781, Waukesha, WI 53186
Honey Creek Rd	Payne & Dolan	Box 781, Waukesha, WI 53186
4901 Big Bend Rd	Thomas P Greil & Nancy J Greil	4901 Big Bend Road, Waterford, WI 53185
Ridge Ln	Thomas P Greil & Nancy J Greil	4901 Big Bend Road, Waterford, WI 53185
33914 Washington Ave	Thomas J Terek & Kathleen M Terek	33914 Washington Ave, Burlington, WI 53105
Washington Ave	Welke Brothers Farm Partnership	30822 Ketterhagen Rd, Burlington, WI 53105
34823 Washington Ave	Barbara Beguhl	34823 Washington Ave, Burlington, WI 53105
34827 Washington Ave	Eugene N Conti Jr	34827 Washington Av, Burlington, WI 53105
34901 Washington Ave	Frank C Price	3010 O'Leary Ln, East Troy, WI 53120
33833 Washington Ave	Raisleger Family Partnership Wayne & Barbara	33833 Washington Av Bx 60, Honey Creek, WI 53138
34411 Washington Ave	David W Thompson Revocable Living Trust	34411 Washington Avenue, Burlington, WI 53105
34425 Washington Ave	Paul G Urlacher	34425 Washington Av, Burlington, WI 53105
34118 Washington Ave	Nancy J Greil & Thomas P Greil	4901 Big Bend Road, Waterford, WI 53185
35006 Washington Ave	International Production Specialists Inc	Po Box 125, Honey Creek, WI 53138
Washington Ave	Minn.St.Paul & SSM R R	120 S 6th St, Minneapolis, MN 55402
34230 Washington Ave	Jeffrey Bonack & Laura Bonack	34230 Washington Avenue, Burlington, WI 53105